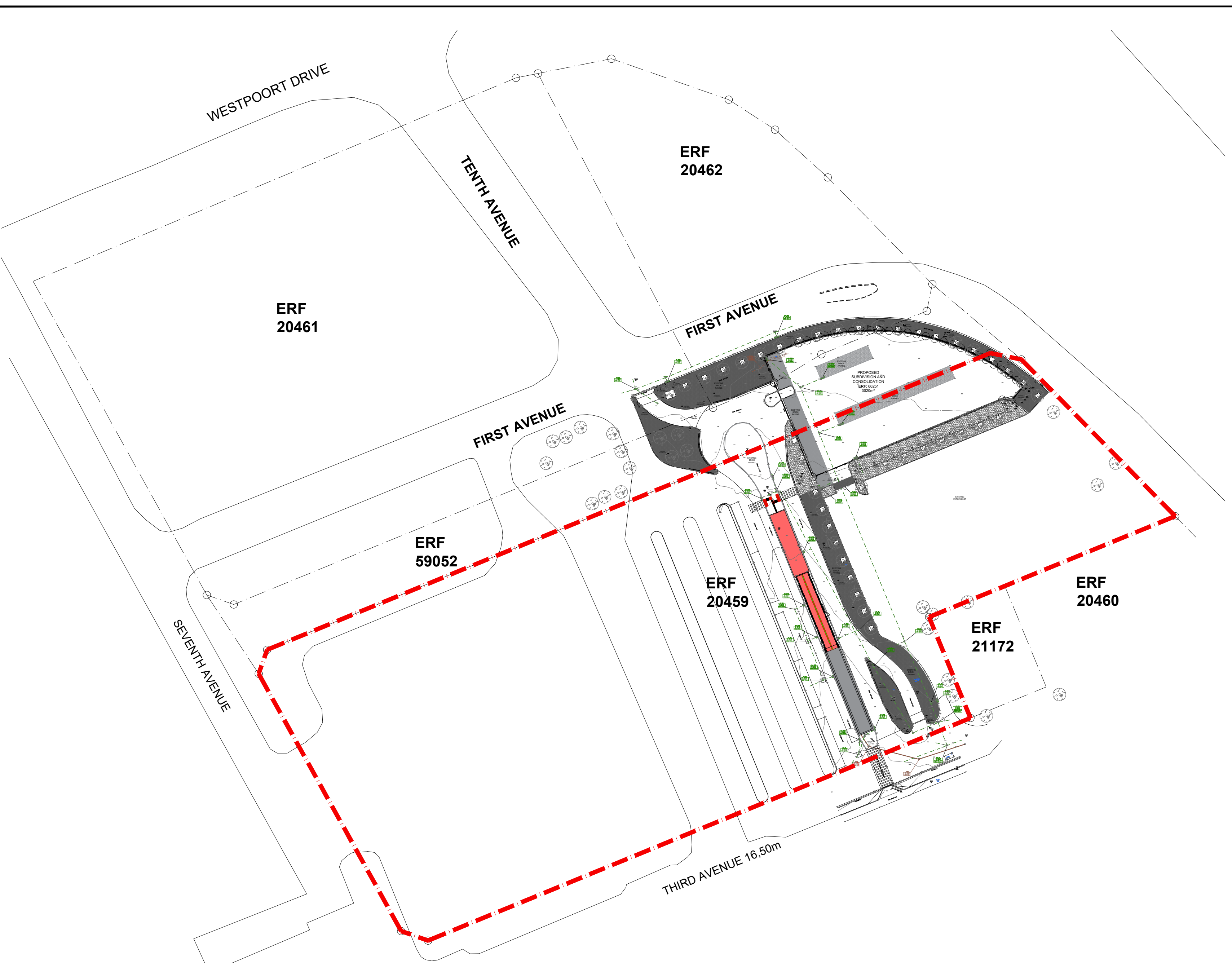




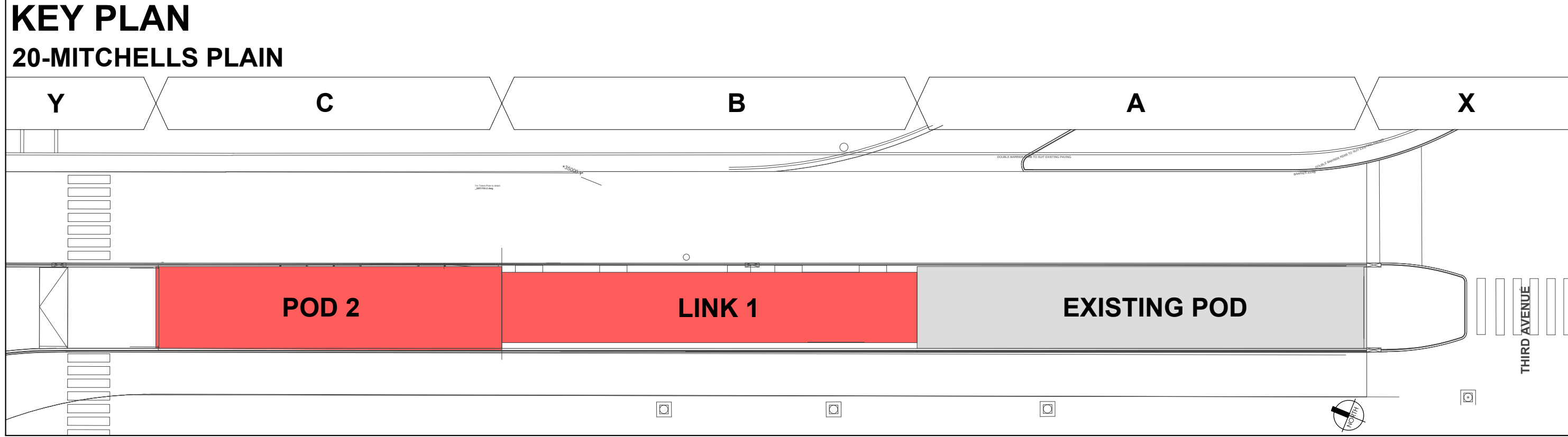
STATION 20 - MITCHELLS PLAIN LOCALITY PLAN

Scale : NTS

- GENERAL NOTES:**
- ALL DIMENSIONS, LEVELS AND DETAILS TO BE VERIFIED ON SITE PRIOR TO COMMENCING OF ANY BUILDING.
 - ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH NATIONAL AND MUNICIPAL BUILDING REGULATIONS.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS DRAWINGS AND SPECIFICATIONS.
 - ALL DETAILS AND DIMENSIONS SHOWN ON THIS DRAWING ARE SUBJECT TO CONFIRMATION ON SITE, AND DURING CONSTRUCTION.
 - ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF SANS 10400.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT HE UNDERSTANDS AND COMPLIES WITH ALL RELEVANT DRAWINGS & SPECIFICATION.
 - CONTRACTORS TO CHECK AND CONFIRM ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT AND MANUFACTURE OF ALL WORK.
 - SURFACE WATER DRAINAGE AND MANAGEMENT THEREOF AS PER CIVIL ENGINEER'S DRAWINGS.

KEY

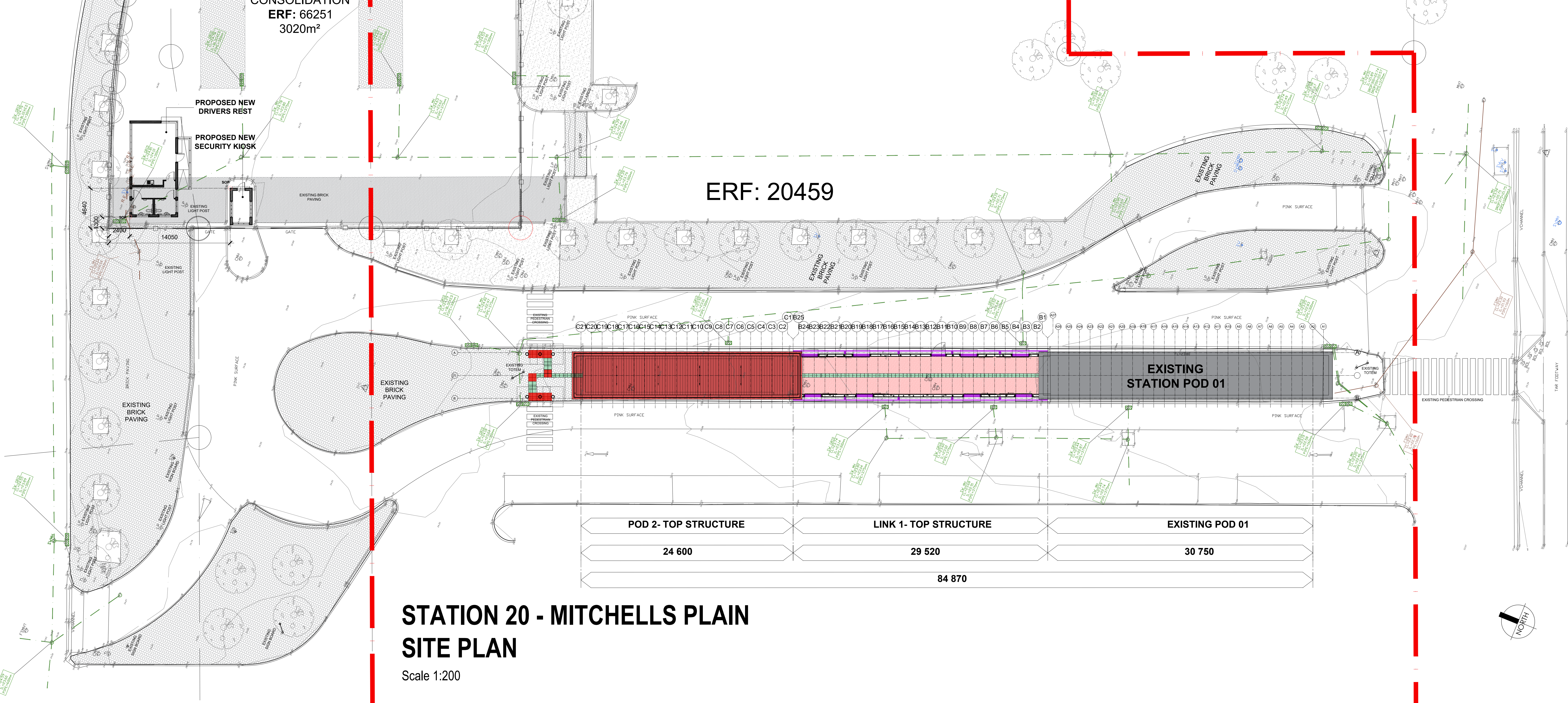
	CONCRETE SURFACE		SEWER AS PER CIVIL ENG.
	PAVED SURFACE		WATER SUPPLY AS PER CIVIL ENG.
	TO BE REMOVED/DEMOLISHED		STORMWATER AS PER CIVIL ENG.
			SITE BOUNDARY LINE



STATION LEGEND

X	MAIN ENTRANCE	Existing
A	POD 01	Existing Pod
B	LINK 01	8x Access gates & 1x Escape gate
C	POD 02	6x Access doors & Escape
Y	SECOND ENTRANCE	Escape & Bollards, Existing Ramps & Totem.

NOTE: *
Building setting out dimensions & co-ordinates to be confirmed by Civil Contractor. Architect & consultants to be notified of any discrepancies.



STATION 20 - MITCHELLS PLAIN SITE PLAN

Scale 1:200

GENERAL NOTES:

1. The copyright of this drawing is the property of the City of Cape Town.
2. All work is to be carried out strictly in accordance with the National Building Regulations and Municipal (Local Authority) Regulations. Municipal requirements and those of other authorities must be adhered to.
3. Only figured dimensions to be used, do not scale.
4. The Architect accepts no responsibility for errors resulting from misinterpretation of the drawings.
5. The contractor and sub-contractor are to check all relevant details, levels and dimensions on site and in the contract documents prior to commencement of work on site or manufacture of any components. Any omissions or discrepancies are to be reported immediately to Architects, in writing.
6. Setting out positions as per architect's drawings to be certified by a registered land surveyor prior to the commencement of any works.
7. All dimensions are given in millimetres.
8. Any materials, fittings, furnishings, etc., described under a trade name, catalogue number or reference are to be either exactly as described or one to be, in the Architect's sole opinion, of equal quality and specification in all respects, as those described. The Architect's approval must be obtained in writing for departure from the original description before submission of tenders, or before manufacturing and/or building in.
9. All materials to be applied in accordance with respective manufacturer's directives and specifications.
10. Foundations, soil conditions and foundation hierarchies to be approved by the Structural Engineer before casting of foundations commences.
11. All structural concrete work, reinforced brickwork, retaining walls and roof construction to be to the Structural Engineer's drawings or approval.
12. Waterproofing - Waterproofing and sealing to be done by specialists in the field as approved by the manufacturer of the material.
13. The Architect requires samples, mock-ups and specialist feedback to be provided in order to ensure that the work is done to a standard to all parties' agreement, and to avoid any loss in time due to rectification of unsatisfactory documentation or work.

REVISION HISTORY:

REV	DATE	DESCRIPTION	BY
A	2024-07-31	FOR CONSTRUCTION	CM

Tender
P - Preliminary
CT - Civils Tender
SD - Site Development Plan
CS - Council Submission
WD - Construction Drawing

CLIENT:

CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD
Signature: _____ Date: _____

PROFESSIONAL SERVICES JV: Design & Construction

FENG
JOINT VENTURE

ARCHITECTS

ebesa
ARCHITECTS | INTERIORS
1875110 WESTERN CAPE | GAITHERS
WESTERN CAPE
MIDDELAARS BUILDING, LEVEL 5, BELLA ROSA VILLAGE
ON DORRANVILLE AVENUE & BELLA ROSA STREET, BELLEVILLE 7780
T: +27 21 514 2240 E: info@ebesa.co.za W: www.ebesa.co.za

APPROVAL
ARCHITECT: 6492 DATE: 2024-07-31
PROFESSIONAL ARCHITECT: JACQUELINE STOW
Client Name: _____

CITY of CAPE TOWN
Project Name: IRT MSE Corridor MyCiti Stations: 234C/2020/21
Professional Services Contract
Project Address: ERF 20459, FIRST AVENUE, MITCHELLS PLAIN.

DATE	2023-02-14	CM	DESIGNER
SCALE(S)	1:250	LT	DRAWN
PAPER	A0	CM	CHECKED

FOR CONSTRUCTION **5**

STATION NUMBER & NAME
20-MITCHELLS PLAIN STATION

DRAWING NAME
SITE PLAN

PROJECT NUMBER
935 - MSEC

DRAWING NUMBER	REV. NO.
234C-20-AR-101	A

1855A_2020