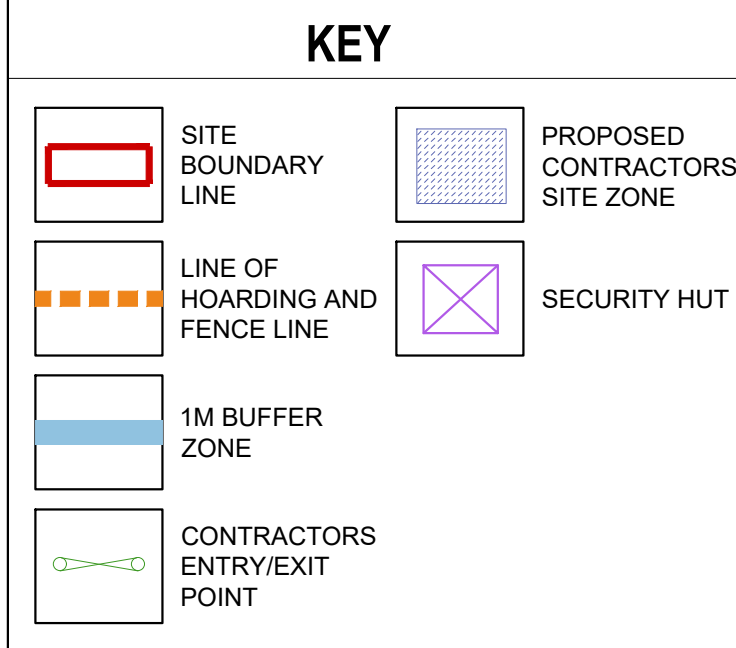
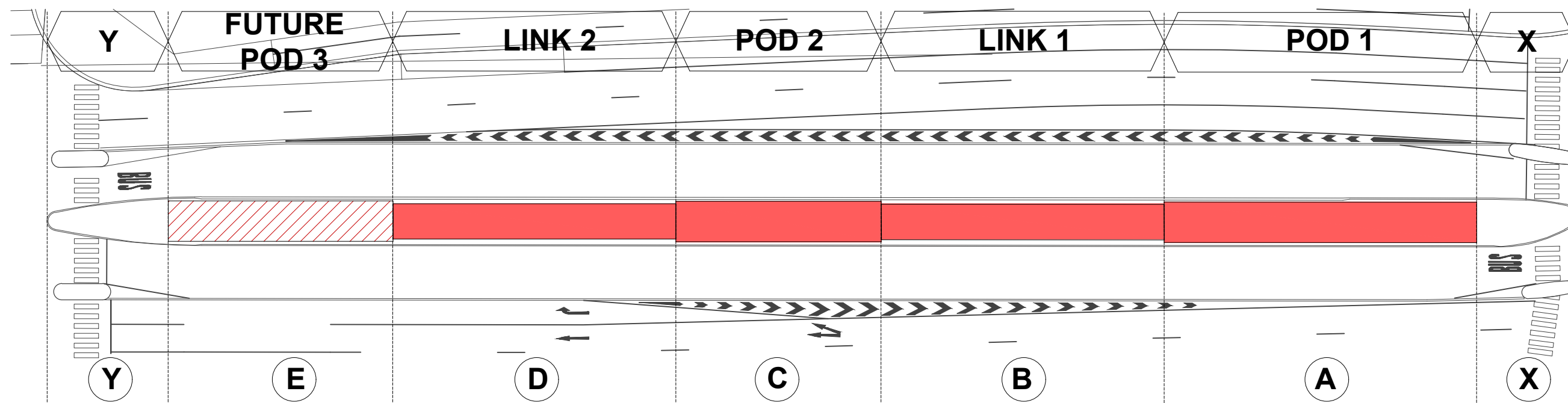


- GENERAL NOTES:**
- ALL DIMENSIONS, LEVELS AND DETAILS TO BE VERIFIED ON SITE PRIOR TO COMMENCING OF ANY BUILDING.
  - ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH NATIONAL AND MUNICIPAL BUILDING REGULATIONS AND SPECIFICATIONS.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTS DRAWINGS AND SPECIFICATIONS.
  - ALL DETAILS AND DIMENSIONS SHOWN ON THIS DRAWING ARE SUBJECT TO CONFIRMATION ON SITE, AND DURING CONSTRUCTION.
  - ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF SANS 10400.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT HE UNDERSTANDS AND COMPLES WITH ALL RELEVANT DRAWINGS & SPECIFICATION.
  - CONTRACTORS TO CHECK AND CONFIRM ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT AND MANUFACTURE OF ALL WORK.
  - SURFACE WATER DRAINAGE AND MANAGEMENT THEREOF AS PER CIVIL ENGINEER'S DRAWINGS.



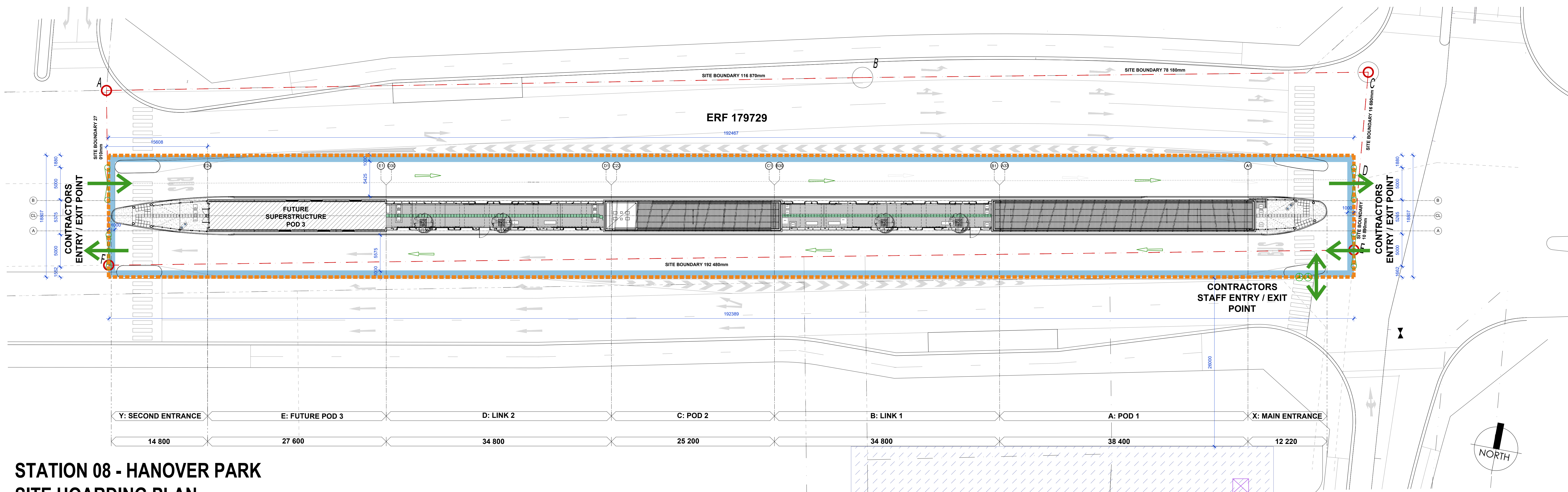
| STATION LEGEND |                 |                                                          |
|----------------|-----------------|----------------------------------------------------------|
| X              | MAIN ENTRANCE   | 1st Totem, Ramps & Bollards                              |
| A              | POD 01          | AFC Gates + Sales Kiosk + Server Kiosk + 6x Access doors |
| B              | LINK 01         | 9x Access gates + 1x Escape gate                         |
| C              | POD 02          | 6x Access doors + Server Kiosk                           |
| D              | LINK 02         | 9x Access Gates + 1x Escapes                             |
| E              | FUTURE-POD 03   | AFC Gates + 6x Access Gates                              |
| Y              | SECOND ENTRANCE | 2nd Totem + Ramps + Bollards                             |

## KEY PLAN 08-HANOVER



## NOTE: \*

Building setting out dimensions & co-ordinates to be confirmed by Civil Contractor, Architect & consultants to be notified of any discrepancies.



## STATION 08 - HANOVER PARK SITE HOARDING PLAN

Scale 1:250

### HOARDING NOTES:

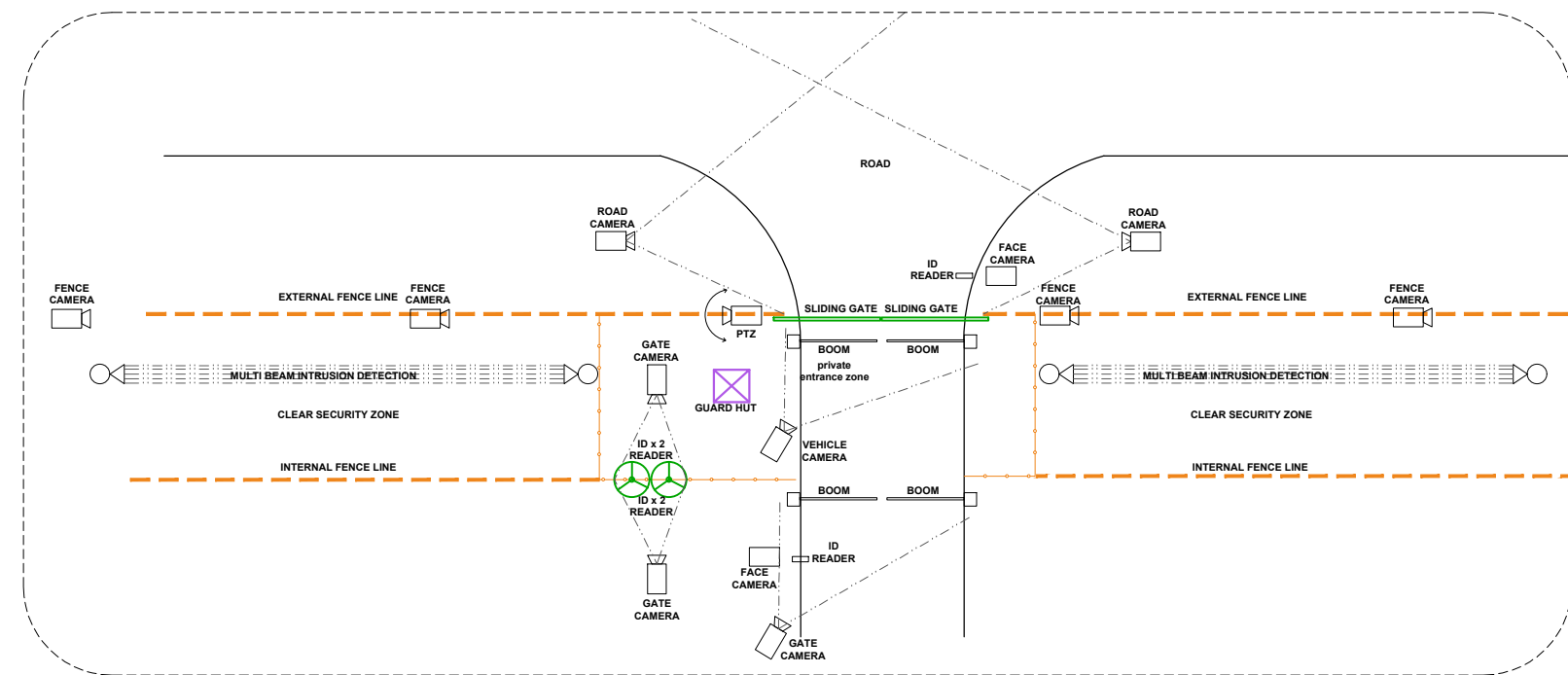
#### Hoarding / fence construction to be comprised of the following:

- Concrete foundations to all fixing/support post as per structural Eng specification and design; with anti-digging protection in between posts
- 100mm tanalis treated poles at 4m centers posts.
- Tanalis support post installed to 3m above ground with straining wires as necessary to receive fence panel fixing; with minimum 8 strand electric fence on top of the security fence.

External perimeter security fencing 3m high above ground consisting of 50x50x2.5mm galvanised welded mesh; fence panels to be fixed to support post. Fence panels to be 3m high above ground level (public side)

Guarding requirements as per Safety and security specification  
=3 x Entrance guards + 2 x Site Guards

A buffer zone of minimum 1m around each fence shall be kept clear of vegetation's, large rocks and other obstructions



## TYPICAL ACCESS SECURITY - Min. requirements for High Risk

Scale: NTS

### GENERAL NOTES:

- The copyright of this drawing is the property of the City of Cape Town
- All work is to be carried out strictly in accordance with the National Building Regulation and Municipal / Local Authority Regulations. Municipal requirements and those of other authorities must be adhered to.
- Only figured dimensions to be used, do not scale.
- The Architect accepts no responsibility for errors resulting from misinterpretation of the drawing.
- The contractor and sub-contractor are to check all relevant details, levels and dimensions on site and in the contract documents prior to commencement of work on site or manufacture of any components. Any omissions or discrepancies are to be reported immediately to Architects, in writing.
- Setting out positions as per architect's drawings to be certified by a registered land surveyor prior to the commencement of any works.
- All dimensions are given in millimeters.
- Any materials, fittings, furnishings, etc., described under a trade name, catalogue number or reference are to be either exactly as described or one to be, in the Architect's sole opinion, of equal quality and specification in all respects, as those described. The Architect's approval must be obtained in writing for departure from the original description before submission of tenders, or before manufacturing and/or building in.
- All materials to be applied in accordance with respective manufacturer's directives and specifications.
- Foundations, soil conditions and foundation trenches to be approved by the Structural Engineer before casting of foundations commences.
- All structural concrete work, reinforced brickwork, retaining walls and roof construction to be to the Structural Engineer's drawings or approval.
- Waterproofing - Waterproofing and sealing to be done by specialists in the field as approved by the manufacturer of the material.
- The Architect requires samples, mock-ups and specialist feedback to be provided in order to ensure that the work is done to a standard to all parties' agreement, and to avoid any loss in time due to rectification of unsatisfactory documentation or work.

### REVISION HISTORY:

| REV | DATE       | DESCRIPTION      | BY |
|-----|------------|------------------|----|
| A   | 2024-07-31 | FOR CONSTRUCTION | CM |
|     |            |                  |    |
|     |            |                  |    |
|     |            |                  |    |
|     |            |                  |    |
|     |            |                  |    |
|     |            |                  |    |
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|     |            |                  |    |

|    |   |                       |
|----|---|-----------------------|
| T  | - | Tender                |
| PT | - | Preliminary           |
| CT | - | Civils Tender         |
| SD | - | Site Development Plan |
| CS | - | Council Submission    |
| WD | - | Construction Drawing  |



Signature: \_\_\_\_\_ Date: \_\_\_\_\_

PROFESSIONAL SERVICES JV: Design & Construction



WESTERN CAPE: MIDLAND BUILDING, LEVEL 5, BELLA ROSA VILLAGE, 100 DORRANVILLE AVENUE & BELLA ROSA STREET, BELLEVILLE, 7530  
T: +27 21 514 2240 E: info@ebesasouthafrica.co.za W: www.esbesa.co.za



Client Name: \_\_\_\_\_

CITY of CAPE TOWN

Project Name: IRT MSE Corridor MyCiti Stations: 234C/2020/21  
Professional Services Contract

Project Address: ERF 179729, GOVAN MBEKI ROAD & HANOVER PARK, PHILIPPI.

|          |            |    |          |
|----------|------------|----|----------|
| DATE     | 2025-01-14 | CM | DESIGNER |
| SCALE(S) | 1:250      | CM | DRAWN    |
| PAPER    | A0         | J5 | CHECKED  |

FOR CONSTRUCTION 5

STATION NUMBER & NAME: 08-HANOVER STATION

DRAWING NAME: SITE HOARDING PLAN

PROJECT NUMBER: 935 - MSEC

|                |                |          |   |
|----------------|----------------|----------|---|
| DRAWING NUMBER | 234C-08-AR-102 | REV. NO. | A |
|----------------|----------------|----------|---|